

Exhibit D: Porch & Ramp Design Plans FINAL rev for Addendum 1.



Joslyn House



Detail of Existing Ramp

Scope of Work—Joslyn House Proposed Ramp Renovation

Work to be done by contractor:

- Build temporary ramp at western door for use during construction.
 - Demolish existing cast concrete porch and roof, dispose of both except retain 2 turned wood posts if in good condition for potential reuse.
 - Build new deck @ building and new roof @ building. 4 round composite material posts to match existing posts on house as much as possible. Posts to conceal 4x4 p.t. structural posts.
 - Install all Sono tube footings for porch, ramps and stairs as shown in Foundation Plan. Provide over-site as needed so volunteers can frame ramps and install Trex decking surfaces. Contractor to construct 2 stairways and do all railings shown in drawings.
 - New roof to be a 1/12 sloped hipped structure w/ black rubber membrane, Roof to have built-in scuppers like existing w/ a single downspout. Underside of roof to be clear coated pine bead board w/ 4 LED can lights on dimmer switch.
 - 4 new porch posts and all surfaces on roof to be painted white to match house
 - Vinyl siding to be removed on entire bay up to underside of soffit. Install Grade 1 clapboards painted on all sides over vertical strapping over existing rigid foam insulation over concrete exterior walls.
- Install new asphalt walk over 4" crushed stone over filter fabric.
 - Regrade lawn. Seeding and mulching by others.

Work to be done by volunteers:

- After contractor has installed Sono tube footings, frame all ramps and deck ramps with Trex walking surface and Trex trim on outside of ramps as shown.
- Ramp's structural posts and deck framing to be p.t. wood w/ Simpson post base anchors and joist hangers.
- Construct & install cedar benches and flower beds. Line beds w/ filter fabric, fill with soil and plant.
- Seed and mulch lawn at conclusion of project

Outline Specifications:

Demolition

Perform Demolition work in accordance with 29 CFR 1926 and NFPA 241.
Do not begin removal until built elements to be salvaged or relocated have been removed.
If hazardous materials are discovered during removal operations, stop work and notify Architect and Owner; hazardous materials include regulated asbestos containing materials, lead, PCB's, and mercury.
Perform demolition in a manner that maximizes salvage and recycling of materials.
Protect existing work to remain.

Wood, Plastics, and Composites

Moisture Content: S-dry or MC19.
Fasteners and Anchors: Hot-dipped galvanized steel complying with ASTM A153/A153M.
Preservative-Treated Wood: Provide lumber and plywood marked or stamped by an ALSC-accredited testing agency, certifying level and type of treatment in accordance with AWWA standards.
Finish Carpentry Quality Standard: Custom Grade, in accordance with AWI/AWMAC/WI (AWS) or AWWAC/WI (NAAWS), unless noted otherwise.
Back prime woodwork items to be field finished, prior to installation

Thermal and Moisture Protection (EPDM Roofing)

Elastomeric Membrane Roofing: One ply membrane, fully adhered.
Thickness: 0.060 inch (60 mil).
Provide twenty year manufacturer's material and labor warranty to cover failure to prevent penetration of water.

Finishes (Painting)

Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.
Do not apply exterior paint and finishes during rain or snow, or when relative humidity is outside the humidity ranges required by the paint product manufacturer.
Volatile Organic Compound (VOC) Content: Comply with the most stringent requirements of the following: 40 CFR 59, Subpart D—National Volatile Organic Compound Emission Standards for Architectural Coatings, Ozone Transport Commission (OTC) Model Rule, Architectural, Industrial, and Maintenance Coatings; www.otc.org, and Architectural coatings VOC limits of State in which the project is located. Provide two top coats and one coat primer.
Top Coat(s): Exterior Latex; MPI #10, 11, 15, 119, or 214.
Accessory Materials: Provide primers, sealers, cleaning agents, cleaning cloths, sanding materials, and clean-up materials as required for final completion of painted surfaces.
Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
Dark Colors and Deep Clear Colors: Regardless of number of coats specified, apply additional coats until complete hide is achieved.

MAPLE STREET

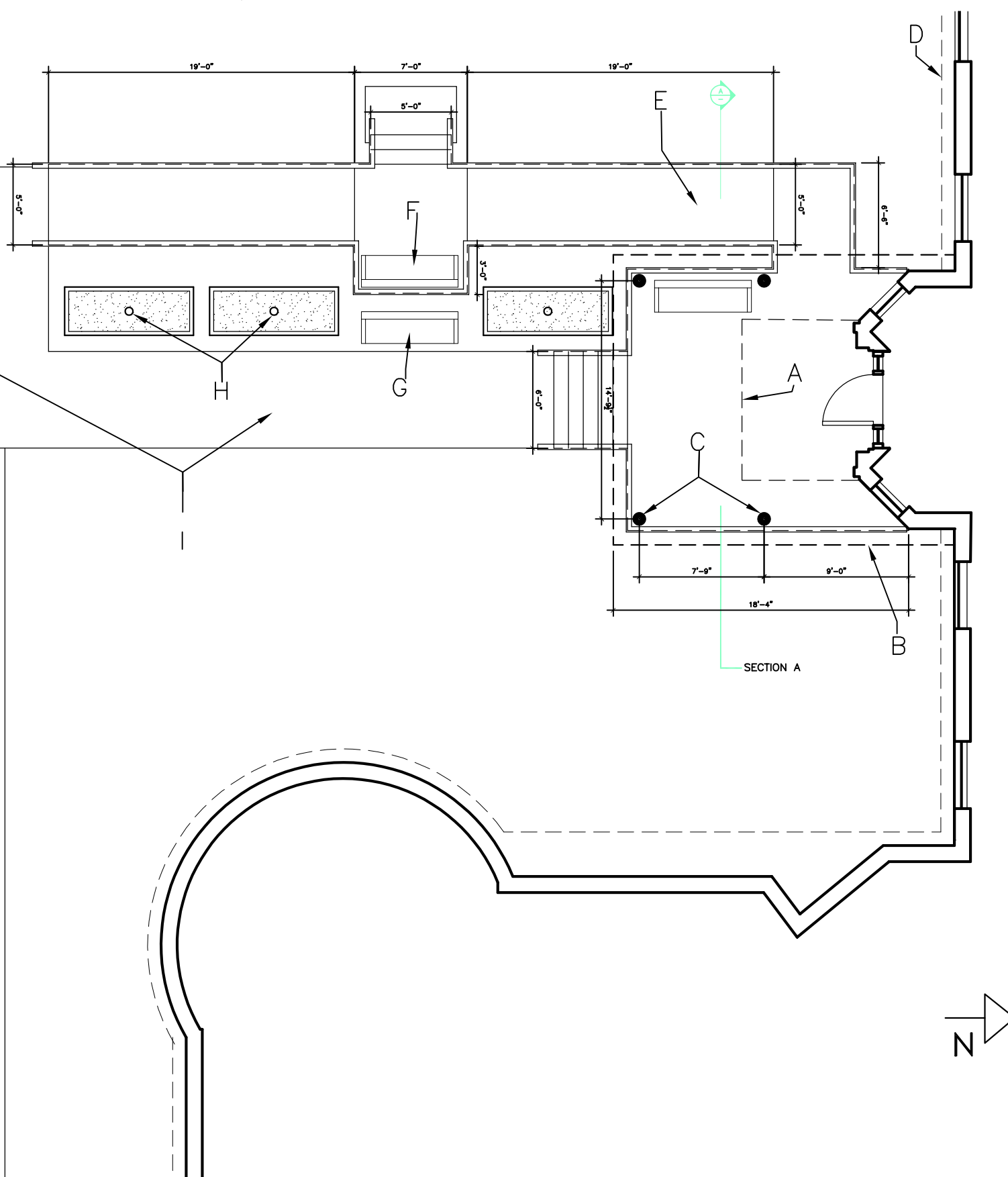
TEMPORARY PARKING

EXISTING WALKWAY

LAMP POST

NOTES:

- A: Demolish existing concrete deck
- B: Expanded roof over new deck
- C: 4 new round post to match existing
- D: Demo existing roof over 2nd story
- E: New ramp with 5x7 landing and stairs to lawn
- F: New bench at landing
- G: New bench in garden along new walkway
- H: (3) 8'x3' planters with lamps
- I: New walkway-32'x6'
- J:

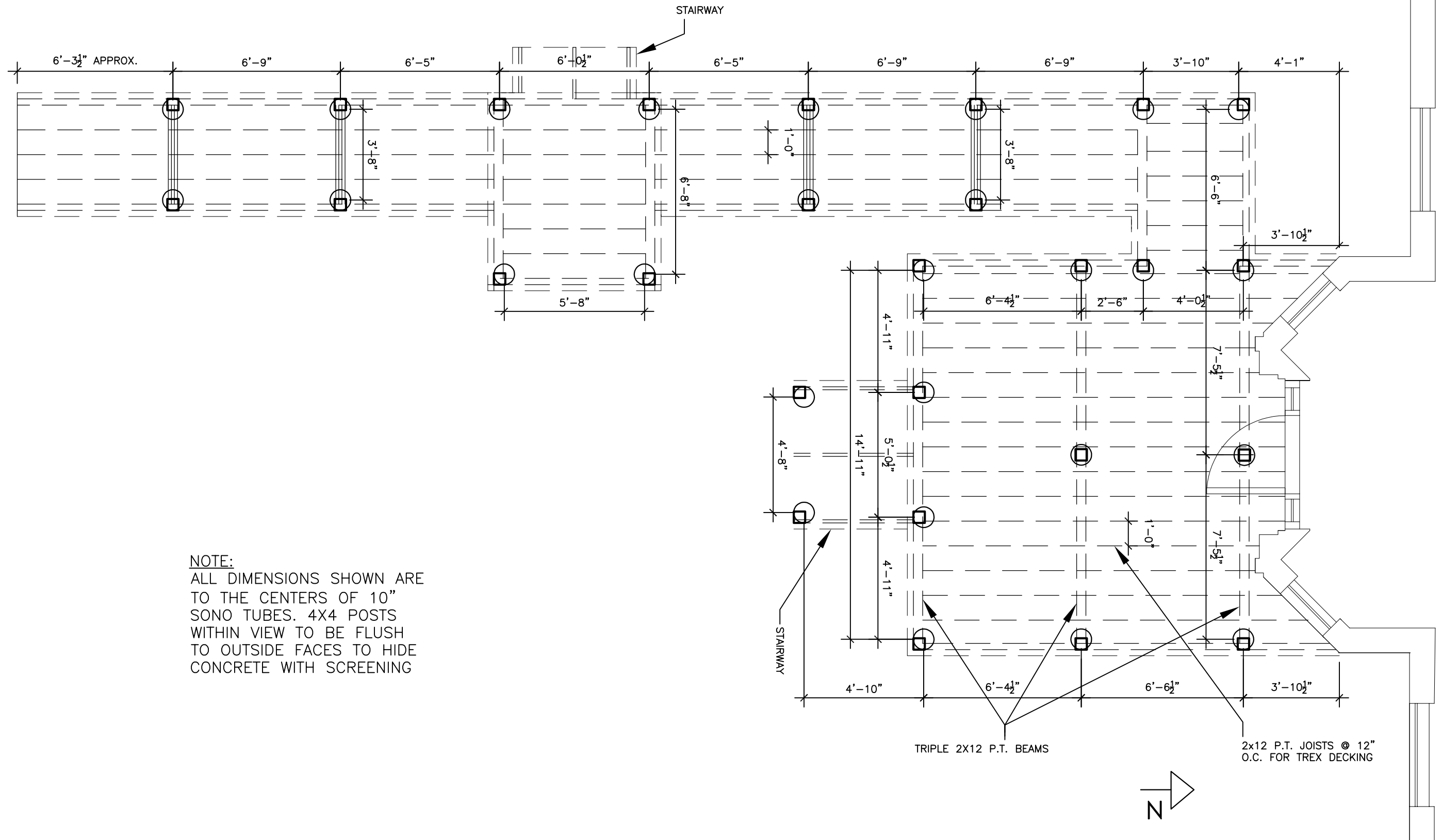


A1

Joslyn House
 16 Maple Street
 Randolph, VERMONT

Proposed Ramp Plan
 Scale= 1/8" = 1'-0"

WARD JOYCE DESIGN
 830 SPARROW FARM RD., MONTPELIER VT 05602
 (802)-522-0150
 wardjoyce1@hotmail.com 01 August 2018



NOTE:
 ALL DIMENSIONS SHOWN ARE
 TO THE CENTERS OF 10"
 SONO TUBES. 4X4 POSTS
 WITHIN VIEW TO BE FLUSH
 TO OUTSIDE FACES TO HIDE
 CONCRETE WITH SCREENING

A2

Joslyn House
 16 Maple Street
 Randolph, VERMONT

Proposed Ftg. & Framing Plan
 Scale = 1/4" = 1'-0"

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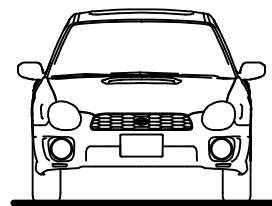


A3

Joslyn House
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Proposed Ramp—Front Elevation
 Scale= 3/16" = 1'-0"

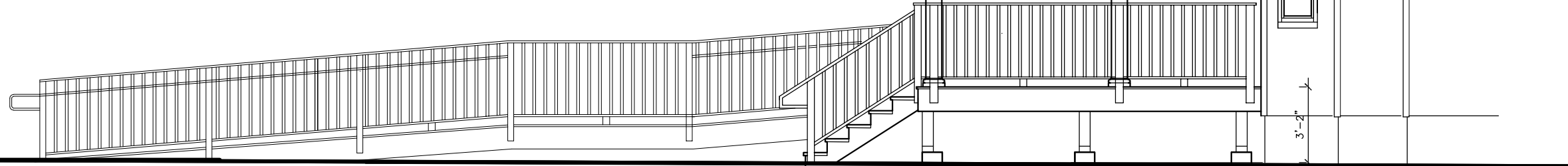
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EMPORARY PARKING



EXISTING WALKWAY



A4

Joslyn House
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Proposed Ramp—East Elevation

Scale= 1/8" = 1'-0"

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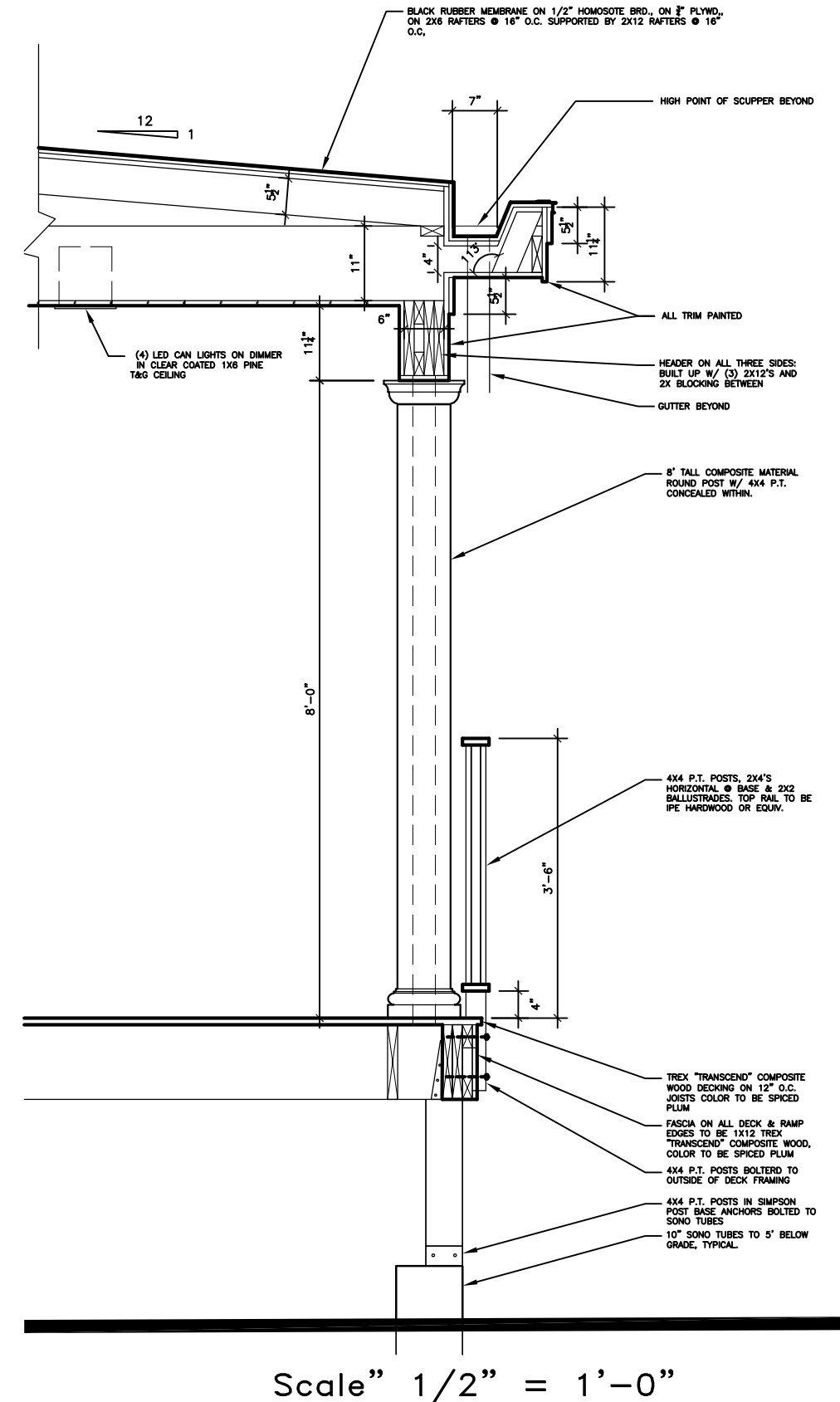
TEMPORARY PARKING

A5

Joslyn House
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Proposed Ramp—West Elevation
Scale" 1/8" = 1'-0"

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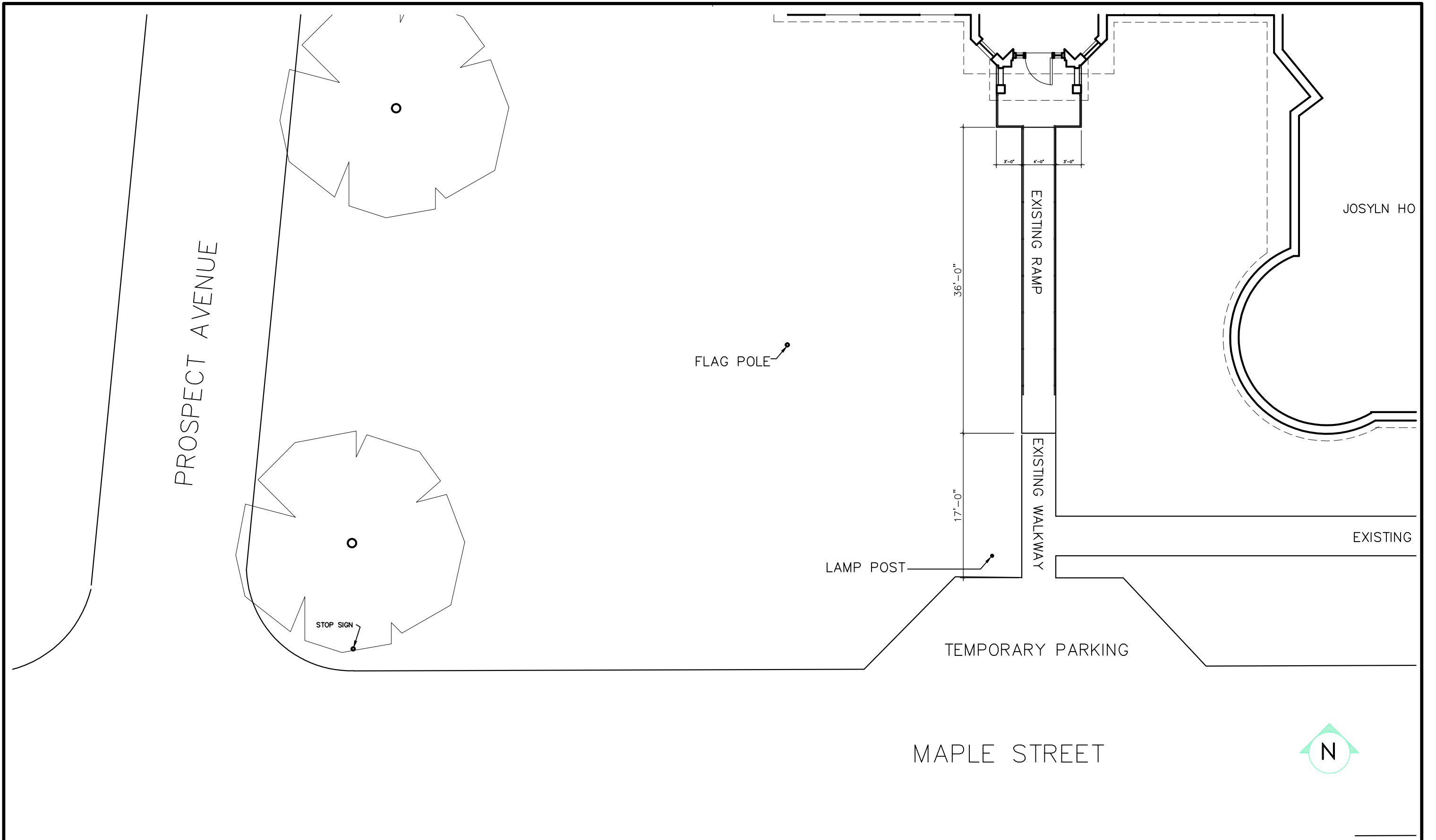


A6

Joslyn House
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Proposed Ramp-Sections
 Scale" 3/16" = 1'-0"

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PROSPECT AVENUE

JOSYLN HO

FLAG POLE

STOP SIGN

LAMP POST

EXISTING RAMP

EXISTING WALKWAY

EXISTING

TEMPORARY PARKING

MAPLE STREET



E1

Joslyn House
16 Maple Street
Randolph, VERMONT

Existing Conditions—Site Plan
Scale: 3/32"=1'-0"

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FRONT ELEVATION

E2

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Existing Conditions
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West Elevation

E3

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Existing Conditions
 Scale" 3/16" = 1'

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